

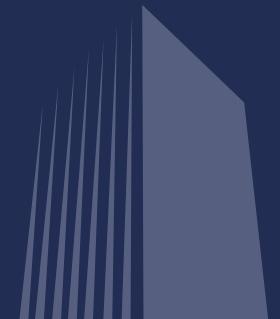


# Jardines de Iberis

**New Project of  
6 Villas for sale in Cabopino**



*Luxury Living in Marbella*






**IBERIS CONSTRUCT**

*is a subsidiary of an international construction group active in the villa construction in Southern and Western Europe, with over 30 years' experience.*

*With its head office for Spain in Marbella she offers an ideal base for its scope to the whole Costa del Sol.*



The core activities of **IBERIS CONSTRUCT** consists of the construction of high quality contemporary villas. From the design, in consultation with the client, up to the full finish everything happens as much as possible in-house. In this way they assure the customer a high quality level in all areas.

The group around **IBERIS CONSTRUCT** has a long tradition in the villa building in southern Europe, for example, numerous references at the Côte d'Azur France and of course at the Costa del Sol. Hence **IBERIS CONSTRUCT** wears integrity and accuracy of paramount importance. This means clear construction contracts, correct plans and clear cost estimates.

By using sustainable materials a realization of **IBERIS CONSTRUCT** gives added value to your investment property in term. **IBERIS CONSTRUCT** excels in the strongly driven prefabrication of building components in both concrete and steel, which only leads to perfect and high quality end results with large free spaces without columns to enjoy the finest views to the fullest. These elements are produced in its own factories in Belgium, France and Germany.

**IBERIS CONSTRUCT** has always been a forerunner in the latest building techniques. They are the first on the

Costa del Sol with the application of the highest quality in the field of insulation, energy and living quality. In this area **IBERIS CONSTRUCT** achieves the A-label already for decades. Since June 2013 this EPC standard also applies in Spain. By using the highest quality materials combined with the most economical and most profitable techniques, such as solar energy, heat pumps with efficiency up to 700% and thermo coupling on aeration and venting. This combined with the complete construction of "Thermo Walls" (insulated concrete walls) results in achieving the lowest power consumption and maximum comfort.

Besides building with the most modern materials, we advise the customer about the latest techniques. Our project managers and interior designers offer our customers advice on existing and extensive choices of finishing.

This project, **JARDINES DE IBERIS**, will also be one of our numerous reference projects!





# Jardines de Iberis

*Discover our exclusive new project for 2015*



On a unique quite location, just not swallowed by the busy coast, this spectacular development will take your breath away. Style, design, quality and YOU are the cornerstones on which Iberis Projects has based the Jardines de Iberis experience.

The lovely single family homes of Jardines de Iberis bear the mark of exceptional style – just like those who call this remarkable community “home.” Located in an incredible, breathtaking setting offering you exceptional views over the golf onto the Mediterranean, north Africa and the port of Cabopino.

Jardines de Iberis is a modern designer project of 6 luxury villas which perfectly reflects our passion for modern construction. From its contemporary styled architecture, the thoughtful interior appointments and innovative, spacious floor plans feature 3 to 5 bedroom ensuite alternatives, walking dressing rooms, spacious lounges, fully equipped kitchens and infinity pool.

These villas are designed, developed and build by a Belgian construction company with more than 15 years’ experience on the Costa del Sol.

**Iberis Projects  
Village 2**

**Iberis Projects  
Jardines de  
Iberis**

**Puerto de  
Cabopino**





**IBERIS 1A**



**1311.35 m<sup>2</sup>**



**514 m<sup>2</sup>**



**4**



**4**



**10 x 4**



**2**



**IBERIS 1B**



**1311.35 m<sup>2</sup>**



**459 m<sup>2</sup>**



**4**



**4**



**10 x 4**



**2**



**IBERIS 1C**



**1311.35 m<sup>2</sup>**



**478 m<sup>2</sup>**



**5**



**5**



**10 x 4**

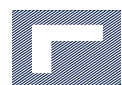


**2**





## IBERIS 2



1133.37 m<sup>2</sup>



4



10 x 4



416 m<sup>2</sup>



4



2







**IBERIS 3**



**1116.47 m<sup>2</sup>**



**359 m<sup>2</sup>**



**4**



**4**



**10 x 4**



**2**



**IBERIS 4**



**1124.60 m<sup>2</sup>**



**343 m<sup>2</sup>**



**4**



**4**



**10 x 4**



**2**



**IBERIS 5**



**1088.40 m<sup>2</sup>**



**4**



**10 x 4**



**426 m<sup>2</sup>**



**4**



**2**



**IBERIS 6**



**1006.52 m<sup>2</sup>**



**301 m<sup>2</sup>**



**3**



**3**



**10 x 4**



**2**

# TECHNICAL DESCRIPTION

## STRUCTURAL WORK

A concrete insulated structure is mounted on the foundations and reinforced concrete plate as calculated with the data of the ground study and engineer's office, filled with insulated walls of the type THERMOWALL\* (= Very high grade in compliance with the latest European insulation values and with a minimum wall thickness of 37 cm)

## ISOLATION

The entire villa is equipped with both acoustic and thermal insulation and this according to the latest European directives. EPN standards. For example: Roof insulation 18cm, *RECTICEL EUROTHANE BI-3*

## OUTSIDE FILLING

The outside filling is of type 'MONOCAPA' and is mass-colored and the customer will have the choice of colors as supplied by the manufacturer.

## INSIDE FILLING / PAINTING

The insulated walls are of plaster foreseen to be paint ready. The ceilings are made of metal stud and feature matching drywall including the necessary techniques such as air conditioning, electricity, ventilation and other techniques are applied.

## FLOORS AND TILES

The customer has the choice from a large range of quality marble, tiles, parquet, epoxy cement, according to the predefined customer requirements. For the basement and the parking a polished concrete is provided.

Standard: *PORCELANOSA*.

## ROOF

The flat roofs are provided with a polyurethane insulating layer of 18 cm thick. If finish is roofing with multiply layers provided. For sloping roofs, is a wooden impregnated roof construction provided may or may not be left visible on the inside, between which the required insulation, 20 cm rockwool, is applied upon which the clay roof tiles will be fitted with a choice of colors for you to choose from. Standard: *WIENERBERGER*

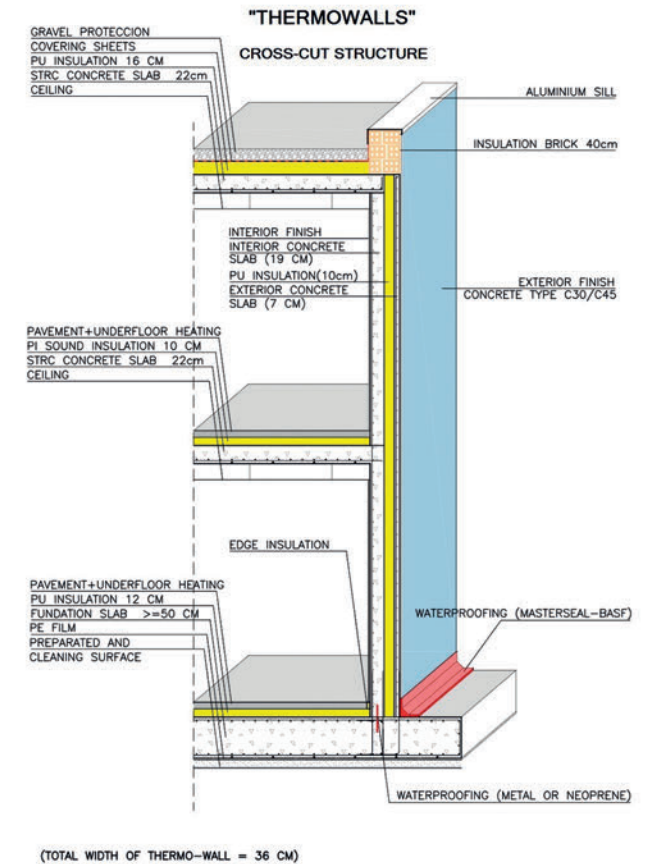
## WINDOWS AND EXTERIOR DOORS

All windows and doors are fitted with safety, solar control and selfcleaning thermal glass. The windows, provided with shutters (*RENSON, WILLEMS*), are thermally insulated and equipped with safety locks.

Standard: *SCHUCO Germany*

## INTERIOR DOORS / DRESSINGS

All doors are floor high and top quality, type according to the choice of the customer from the large collection



	very efficient			very inefficient					
LABEL:	A++	A+	A	B	C	D	E	F	G
EL:	0,50 or less	0,51-0,70	0,71-1,05	1,06-1,30	1,31-1,60	1,61-2,00	2,01-2,40	2,41-2,90	2,91 or more





of IBERIS INTERIOR. The dressings are carried out in the same quality and color.

#### **SANITARY**

All devices are of the brand *VILLEROY & BOCH*, *PHILIPPE STARCK* and *SHOCK*, this according to the wishes of the client to be determined at inception of the construction of your villa. The faucet is of the brand *GROHE*.

#### **ELECTRICITY**

Complete electrical equipment, automation are conducted in accordance with all applicable regulations. Plans in consultation with the customer and from the brand *BTICINO*.

Videophone with the necessary internal units and which is also connected with the main entrance. All the lights are LED lighting devices.

#### **HEATING / AIR CONDITIONING**

All rooms are equipped with individual AC-units to achieve maximum energy savings and a water based under floor heating system with heat pump.

*Brand DAIKIN.*

The entire villa is equipped with air heating and air cooling system according to the central pipe system with heat pumps. *DAIKIN type ALTHERMA.*

All rooms are individually operated.

The living room is equipped with a high end fireplace with gas or wood. (option)

#### **ALARM**

The is pre-installed for any subsequent installation of the alarm of choice.

#### **KITCHEN**

A fully equipped *SIEMATIC* kitchen, for a standard price of 20.000€, according to the wishes of the customer with

Gaggenau and Miele appliances are standard. (available with cappuccino machine, wine cooler, icemaker).

#### **POOL**

The pool as foreseen on the drawings, with a fully automatic technical installation is provided as well as the underwater lighting and with a basic solar panel heating.

#### **GENERAL**

A architecturally landscaped private garden.

All maintenance services during the warranty period will provided with the necessary guarantees.

# SPECIFICATIONS

## **KITCHEN: SIEMATIC Type SC66**

### **GAGGENAU**

- Combi Steam oven serie 400
- Combi -Microwave serie 400
- Vario induction cooktop 90cm serie 400
- Ventilation: Wall-Mounted hood AW 400
- Vario Combi Refrigirator serie 200
- Dishwasher DF 460

## **BATHROOM 1-2-3 (-4)**

### **TOILET**

- Hanging toilet: PHILIPPE STARCK 3-white
- Toilet seat: STARCK / DURAVIT 3-white
- Suspension: - GEBERIT Sanbloc

### **SINK**

- INBANI type Solid surface white
- Mirror VILLEROY & BOCH
- Faucet GROHE Metris

### **SHOWER**

- Fix shower: GROHE - Raindance Air 26cm
- Hand shower: STARCK HG2

### **BATH**

- VILLEROY & BOCH Oberon 170/75 white
- GROHE Metris

### **GUEST TOILET**

- Hanging toilet STARCK
- Sink: Faucet GROHE Pura Vida

### **TILING**

- all the colors are to be chosen by the client

### **GROUND FLOOR**

- PORCELANOSA collection VENIS

### **TERRACES**

- PORCELANOSA collection VENIS non-skid

### **FIRST FLOOR**

#### **Rooms:**

- Parquet fullwood 18mm

### **Bathrooms:**

- PORCELANOSA collection VENIS
- Wall tiles: PORCELANOSA type micro-cement

### **GARAGE/DRIVEWAY**

- Polished concrete, ORMEGON ENPRESSA

### **AIRCO/HEATING**

#### **Air-conditioning**

- DAIKIN with heat pump and canal system
- each space individually controlled

#### **Floor heating**

##### **Ground floor**

- Brand DAIKIN ALTHERMA with water tubes, type Thermoblock
- a return of 700%

### **Bathrooms:**

- floor heating with low tension

The entire installation is with a double circuit with a GRUNDFOS pump.



**BOSE**<sup>®</sup>  
Better sound through research<sup>®</sup>



**BEGA**  
kreon

SAINT-GOBAIN  
GLASS



Schindler

**DAIKIN**

#### HOT WATER

- DAIKIN thermoblock 250L/25 minutes
- an energy return of 700%

#### INSULATION

- PU-plates 8cm to 16cm - BASF & RECTICEL

#### WINDOWS

- Brand: SCHUCO / KAUWNEER -> Type Alu / AWS 65

#### Glass: SAINT GOBIN

- Type HR+ glass
- self cleaning
- solar control / type cool-lite
- anti burglary
- Climalit glass / double and triple glass type Climatop

#### DOORS

- Width: 83cm
- Height: storey high
- Type: smooth painted

#### GARAGE DOOR

- HORMANN: insulated, sectional with remote

#### BALUSTRADES

- Q-Rail: stainless steel inox 316

#### POOL

- Infinity pool either with MORTEX or with glass tiles: blue

#### POOLTECHNIQUES

- Filter: STARLINE with glass filter and automatic control
- Pump: STARLINE with a capacity of 16m<sup>3</sup>/h
- Lighting: 2x LED Aqua Light with remote and timer
- Control: Completely automatic
- Disinfection: RVS UV-C installation
- Ozonator: Blue Lagoon

#### ELECTRICITY

- Lighting: LED lighting PHILIPS
- Videophone FERMACC with 1 inside unit
- Plug connections and switches: LEGRAND, SIEMENS



# IBERIS SERVICE

Here at Iberis Service we understand that owning a property in Spain while living in another country can bring some worries. We provide a range of property services on all Iberis' villas to ensure your villa stays in the best condition and offers you peace of mind while you are away. Our reliable and experienced homecare team will make sure that next to cleaning your property before each arrival and after every visit, continuously your house will be cleaned as well as the windows.

Once a week our professional and experienced Gardner will maintain and keep your garden green all year round. This also includes pool management; your pool will be cleaned and checked so each visit allows you to enjoy it all from the moment you arrive.

Our property inspection staff will do a visual inspection of interior and exterior after each maintenance. There will also be a check up on the property on a regular base to insure all electrical installations are functioning as it should such as the alarm.

At Iberis Service we offer a full range of benefits to all Iberis Villas owners. When you sign up to our Iberis Service, we assure you that we will take care of your home as if it were our own and this at very competitive prices.



## IBERIS SERVICE







## PARTNERS



### CONCRETE & STEEL ENGINEERING

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### QUALITY CONTROL



Genau. Richtig.

### TECHNICAL ENGINEERING





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Belgian Builders



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